



Addendum No. One

Date: May 31, 2024

RFP No: FY24-805-45 Airport Terminal Building Improvements
AWIP : BHS-TC2/TC4 : A-Wing Offices

This Addendum # 1 to Request for Bids for Airport Terminal Building Improvements AWIP : BHS-TC2/TC4 : A-Wing Offices contains the following responses to bidder inquiries and clarifications or changes to the Bid Documents:

BIDDER INQUIRY RESPONSES:

- 1) " Who is the HVAC controls vendor for the building? "
 - a) The existing building management system is a Johnson Controls Metasys system, and the Airport has used Granite State Automation LLC for modifications/upgrades over time.
 - b) The HVAC work for this project is not anticipated to affect the building management system and any incidental modification to the Metasys system will be performed by the Owner/others.
 - c) Existing thermostats shall be relocated as indicated on the plans, and any new equipment or devices provided shall be compatible with Johnson Controls Metasys system whether to be connected to the system or not.
- 2) " Who is the fire alarm vendor for the building? "
 - a) As indicated on the plans (FA1.100), the fire alarm system is an EST-4 emergency voice evacuation system as manufactured by Edwards Fire Safety.
 - b) This new updated system completed recently (2023) was provided and programed by R B Allen Co. Inc. and installed by Paquette & Howard Electric Service, Inc.
 - c) The Airport does not have an on-call contracted fire alarm system vendor/contractor.
- 3) " Who handles the fire sprinkler system for the building? "
 - a) The Airport does not have an on-call contracted fire sprinkler system vendor/contractor.
 - b) The Airport has recently utilized Impact Fire Services LLC for various sprinkler system work.

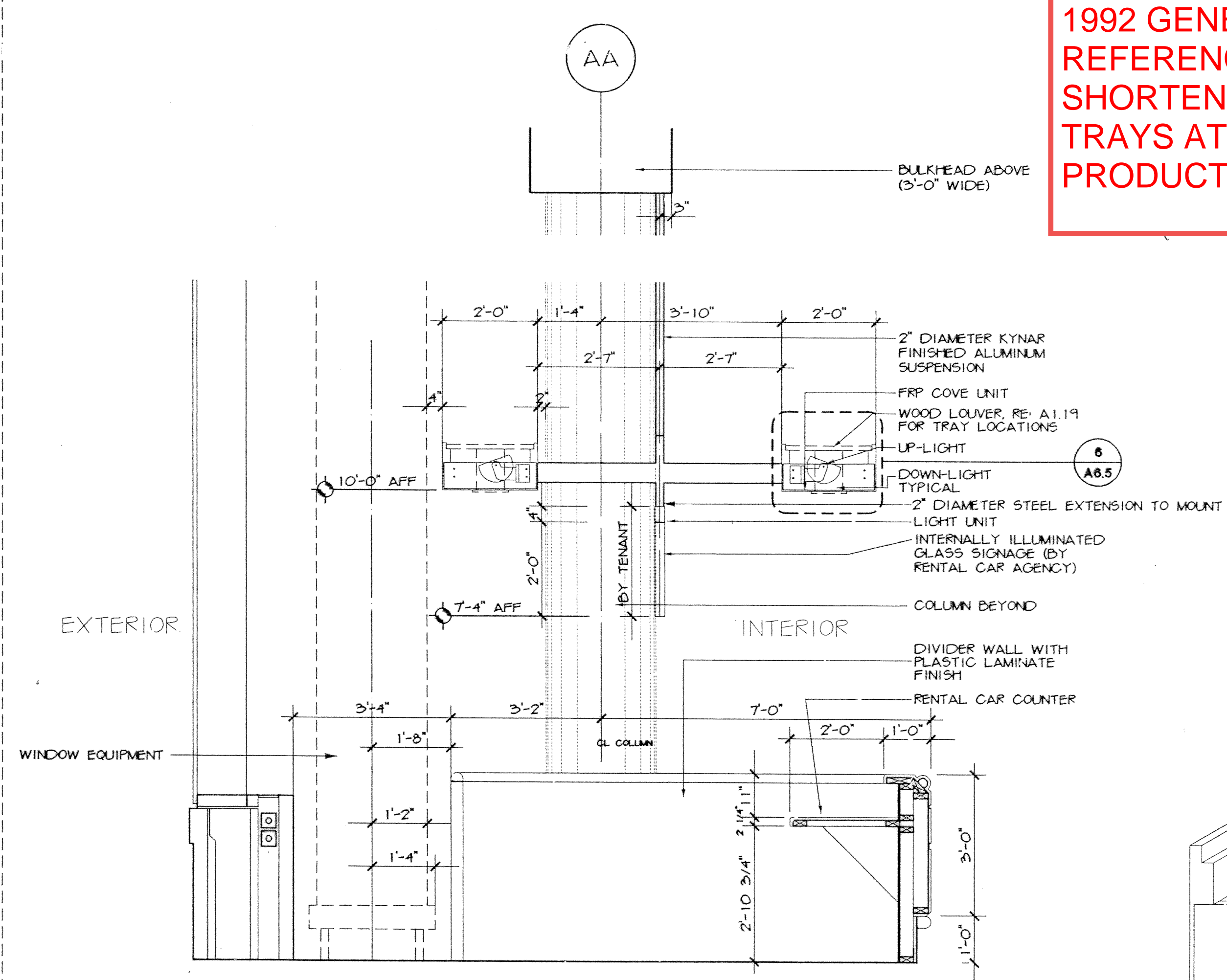
- 4) " Please clarify if the building permit cost is by the owner or GC. "
- a) There is no cost associated with building permits. The Airport is self-jurisdictional for Building Construction and will perform the related inspections.
 - b) Life Safety systems testing and acceptance will be coordinated through the Londonderry Fire Department – Division of Fire Prevention (AHJ) and the Contractor shall be responsible for any related costs for inspections/re-inspections etc.
- 5) " Confirming this project has no wage requirements (Davis Bacon, Prevailing) and is open shop labor? "
- a) This project is not federally funded and does not have wage requirements.
 - b) The project is open-shop labor.
- 6) " Confirming temp utility consumption costs are by the owner. "
- a) There will be no costs billed to the Contractor for temporary utility consumption related to the construction areas or other required operations inside the terminal building.
 - b) If the Contractor chooses to erect a temporary field office (trailer) outside of the terminal building, then the Contractor shall coordinate with the utility companies and set-up and pay for temporary accounts and services as needed.
- 7) " Can a detail be provided for the bollards? "
- a) Bollards to be provided for the protection of the corridor in the Outbound Baggage Make-Up Room shall be commercially available 6" dia x 42" tall schedule 40 steel pipe mounted to a 5/8" (min.) thick 10" x 10" (min.) baseplate with four 3/4" dia. (min.) Boltholes (for 5/8" dia. Conc. anchors), hot dip galvanized finish and provided with yellow 1/4" (min.) thick HDPE plastic slip-on covers with dome top, as available/manufactured by Bollards & Sleeves LLC, 1-800-bollards, Inc., Post Guard/ Encore Commercial Products, Inc., or approved equal.
 - b) Concrete anchors for bollards shall be 5/8" dia (min.) x 6" (min.) embedment hot dip galvanized Simpson Strong-Tie Titen-HD heavy-duty screw anchors or Hilti khc kwik-x or hvu2 epoxy capsule drop-in anchors, or approved equal.

MODIFICATIONS TO BID DOCUMENTS:

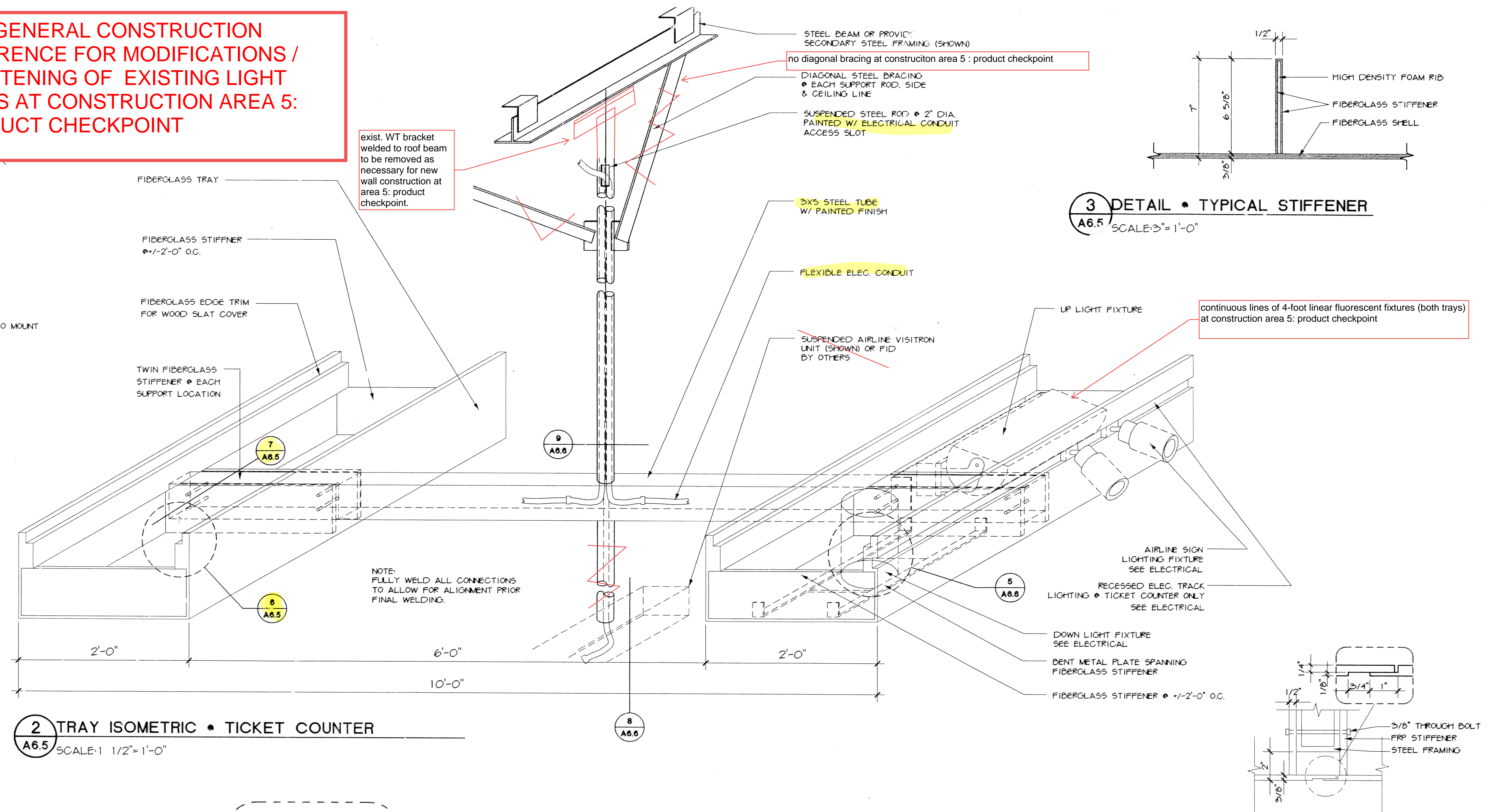
- 1) Revised Plan Drawing G1.102-Rev1 attached to this Addendum shall replace the original issued drawing in the Bid Documents.
- 2) See attached 1992 building drawing for reference of general construction of existing light tray to be modified at work area #5 (Product Checkpoint).

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ARCHITECTURAL ABBREVIATIONS															SYMBOLS															FINISH FLOOR PLAN LEGEND															NOTE: SYMBOL AND MATERIAL GRAPHICS INDICATED ON THIS SHEET ARE REPRESENTATIVE OF THOSE DEPICTED HEREIN. NOT ALL SYMBOL AND MATERIAL GRAPHICS WILL NECESSARILY BE USED.															REVISIONS														
AA AMERICAN AIRLINES AC ACCESSIBLE ACQ ACOUSTICAL ACS ACCESS CONTROL SYSTEM ACT ACOUSTICAL CEILING TILE ADA AMERICAN DISABILITY ACT AD AREA DRAIN ADJ ADJUSTABLE AE AMERICAN EAGLE AIRLINES AFF ABOVE FINISHED FLOOR AHU AIR HANDLING UNIT ALUM ALUMINUM APPROX APPROXIMATELY ARCH ARCHITECTURAL-ARCHITECT ATO AIRLINE TICKETING OPERATIONS ATD ATTACHED BD BOARD BEL BELOW BIT BITUMINOUS BLDG BUILDING BLK BLOCK(ING) BM BEAM BO BOTTOM OF BOT BOTTOM BS BOTH SIDES BTWN BETWEEN CAB CABINET CB CATCH BASIN CAC CONTINUOUS ACCELERATED CONSTRUCTION CEM CEMENT CFCI CONTRACTOR FURNISHED / CONTRACTOR INSTALLED CFL COMPACT FLUORESCENT LIGHTING CG CORNER GUARD CST-IN-PLACE CAST-IN-PLACE CJ CONTROL JOINT CL CENTER LINE CLG CEILING CLNG CEILING CLR CLEAR(ANCE) CLR OPG CLEAR OPENING CMU CONCRETE MASONRY UNIT COL(S) COLUMN(S) CONC CONCRETE CONF CONFERENCE CONST CONSTRUCTION CONT CONTINUOUS CORR CORRIDOR, CORRUGATED CPT CARPET CT CERAMIC TILE CTR CENTER D DEEP, DEPTH DBL DOUBLE DEMO DEMOLISH/DEMOLITION DET DETAIL DF DRINKING FOUNTAIN DIA DIAMETER DIM DIMENSION DIV SPECIFICATION DIVISION DOWN DOWN DO DOOR OPENING DR DOOR DWG DRAWING EA EACH EB EXPANSION BOLT EJ, E.J. EXPANSION JOINT EL ELEVATION ELEC ELECTRICAL ELEV ELEVATOR (EDPM) ENCL ENCLOSURE EPDM ETHYLENE PROPYLENE DIENE MONOMER EQ EQUAL EQUIP EQUIPMENT ESC ESCALATOR ETD EXPLOSIVE TRACE DETECTION EV ELEVATOR EX EXISTING EXEC EXECUTIVE EXH EXHAUST EXIST EXISTING EXP EXPANSION EXT EXTERIOR FA FIRE ALARM FAB FABRICATE(D) FACP FIRE ALARM CONTROL PANEL FAST FASTENER FD FLOOR DRAIN FDN FOUNDATION FE FIRE EXTINGUISHER FEC FIRE EXTINGUISHER CABINET FHC FIRE HOSE CABINET FIDS FIGHT INFORMATION DISPLAY SYSTEM FIN FINISH FIXT FIXTURE FL FLOOR FLUOR FLUORESCENT FOC FACE OF CONCRETE FOF FACE OF FINISH FOS FACE OF STUDS FP FIRE PROTECTION FRT FIRE RETARDANT FT FEET / FOOT FTG FOOTING FURR FURRING GA GALV GALV GALVANIZED GC GENERAL CONTRACTOR GFRC GYPSUM FIBERGLASS REINFORCED CONCRETE GL GLASS GR GRADE GWB GYPSUM BOARD H HIGH, HEIGHT HB HOSE BIBB HC HOLLOW CORE HDCP HANDICAP PERSON HDWD HARDWOOD HDWR HARDWARE HGT HEIGHT HM HOLLOW METAL HORIZ HORIZONTAL HVAC HEATING, VENTILATING AND AIR-CONDITIONING ID INSIDE DIAMETER INCAND INCANDESCENT INCL INCLUDE(D, ING) INSTL INSTALLED INSUL INSULATION, INSULATED INT INTERIOR JAN JANITOR JT JOINT KILN-DRIED KILN-DRIED KNOCKOUT KNOCKOUT L LONG, LENGTH LAB LABORATORY LAM LAMINATE(D) LAV LAVATORY LCC LEAD-COATED COPPER LH LEFT HAND LP LOW POINT LTG LIGHTING MACH MACHINE MAG WALK THROUGH METAL DETECTOR MANUF MANUFACTURER MAS MASONRY MAT MATERIAL MAX MAXIMUM MB MEDIUM BOLT MDO MEDIUM DENSITY OVERLAY MECH MECHANICAL MED MEDIAN MEMBRANE MEZZANINE MIN MINIMUM MISC MISCELLANEOUS MO MASONRY OPENING MOD MODULAR MR MOISTURE RESISTANT MTD MOUNTED MTG MOUNTING MTL METAL MWK MILLWORK NAT NATURAL N.I.C. NOT IN CONTRACT NO NUMBER NOM NOMINAL NTS NOT TO SCALE OA OVERALL ON CENTER OCC OCCUPANT OD OUTSIDE DIAMETER OFD OWNER FURNISHED / CONTRACTOR INSTALLED OFF OFFICE OPNG OPENING OPP H OPPOSITE HAND OPP OPPOSITE ORD OVERFLOW ROOF DRAIN PC PRECAST PDR POWER-DRIVEN FASTENER PERF PERFORATED PERIM PERIMETER PRF PREFORMED PFN PREFINISHED PL PLATE PLAS LAM PLASTIC LAMINATE PLAS PLASTER PLUMB PLUMBING PLYWD PLYWOOD PM PRESSED METAL POL POLISHED PP POWER POLE PR PAIR PT POINT PRESSURE-TREATED PTD PAINTED PTN PARTITION QT QUARRY TILE QTY QUANTITY R RADIUS, RISER RB RESILIENT BASE RCP REFLECTED CEILING PLAN RD ROOF DRAIN RE RESIDENT ENGINEER REF REFERENCE REG REGISTER REINFORCED REINFORCED RENOV RENOVATE(D) REQ REQUIRED RESIL RESILIENT RET RETURN REV REVISION RGS RIGID GALVANIZED STEEL RH RIGHT HAND RWL RAIN WATER LEADER RM ROOM RO ROUGH OPENING SC SOLID CORE SCHD SCHEDULE SECT SECTION SEP SEPARATE SHT SHEET SHTG SHEATHING SIM SIMILAR SPEC SPECIFICATIONS SQ SQUARE SS STAINLESS STEEL STA STATION STD STANDARD STI SMART TERMINAL INTERFACE STL STEEL STOR STORAGE STRUCT STRUCTURAL SUSP SUSPENDED SYM SYMMETRICAL T TREAD T&G TONGUE AND GROOVE TCO TEMPORARY CERTIFICATE TEMP TEMPORARY, TEMPERED TEL TELEPHONE TERRAZZO THK THICK(NESS) THRU THROUGH TICKETING TO TOP OF TOC TOP OF CURB, TOP OF CONCRETE TOM TOP OF MASONRY TOS TOP OF STEEL TOW TOP OF WALL TPD TOILET PAPER DISPENSER TV TELEVISION TSA TYPICAL TRANSPORTATION SECURITY AGENCY UNF UNFINISHED UNLESS OTHERWISE NOTED VB VAPOR BARRIER VCT VINYL COMPOSITION TILE VERT VERTICAL VEST VESTIBULE VIF VERIFY IN FIELD VIN VINYL VNC VINYL WALLCOVERING W WIDE, WIDTH W/ WITH WC WATER CLOSET WF WATER FOUNTAIN WD WOOD WIN WINDOW WO WINDOW OPENING W/O WITHOUT WP WORKING POINT WPR WATERPROOF(ING) WS WEATHERSTRIP(ING) WT WEIGHT WWF WELDED WIRE FABRIC 1 FLOOR PLAN 1/8"=1'-0"															ACT 2X2 ACT 2X4 HVAC DIFFUSER RECESSED LIGHT 2X2 RECESSED LIGHT 2X4 FIRE PROTECTION															BITUMINOUS CONCRETE PAVEMENT (BCP) CARPET (CPT) CERAMIC TILE (CT), REFER TO DETAILS CONCRETE FLOOR HARDENER/SEALER (CFS) ACID RESISTANT RESINOUS (RES) RESILIENT FLOOR TILE (RFT) FLOOR MAT (FM) FLOOR DRAIN (FD) TRANSITION FINISH FLOOR PLAN & RCP NOTES 1. ALL GYPSUM WALLS NEW OR MODIFIED TO BE PAINTED. 2. ALL GYPSUM WALL BOARD (GWB) SOFFITS AND OR COLUMN CHASES TO BE PAINTED TO MATCH. 3. ALL NEW BASE TO MATCH EXISTING RESILIENT. INSTALL BASE AT EACH SPACE. 4. ALL NEW OR MODIFIED ACOUSTICAL CEILING TILE (ACT) TO MATCH EXISTING AND TO FOLLOW PREEXISTING GRID LAYOUTS, REFER TO ARCH RCP AND INFORM DESIGNER OF ANY DISCREPANCIES PRIOR TO INITIATING WORK OR ORDERING MATERIALS. 5. ALL DOORS AND DOOR FRAMES TO BE PAINTED PER SCHEDULE. 6. NEW INTERIOR STOREFRONT METAL IS TO BE PREFINISHED TO MATCH EXISTING SYSTEMS, SEND TO OWNER FOR APPROVAL. 7. PAINT EXPOSED COLUMNS IN AREA 1 (BREAK-ROOM). 8. AT ALL EXPOSED CEILING; STEEL STRUCTURE, METAL DECK, CONDUITS, SPRINKLER PIPING, HVAC DUCTS, SUPPORTS, MICS, ITEMS AND ETC. TO BE INSPECTED BEFORE COMMENCING ANY WORK. 9. ALL AREAS WITH FLOOR TILE TO RECEIVE MATCH TILE BASE, SEND TO OWNER FOR APPROVAL 10. GROUT COLOR TO MATCH EXISTING, PENDING OWNER'S APPROVAL.															NO. DATE 1 5/31/24 DESCRIPTION REV. GENERAL NOTE 1.																													
ARCHITECTURAL GENERAL NOTES															1. ALL WORK SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL BUILDING CODES. REFER TO CODE SUMMARY. BUILDING, FIRE AND LIFE SAFETY CODE ANALYSIS: APPLICABLE CODES: NEW HAMPSHIRE EXISTING BUILDING CODE (AMENDED) ICC A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES, 2009 NEW HAMPSHIRE STATE BUILDING CODE (AMENDED INTERNATIONAL BUILDING CODE (IBC), 2018 NEW HAMPSHIRE STATE FIRE CODE, (AMENDED NATIONAL FIRE PROTECTION ASSOCIATION (NFPA) 1, 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC), 2018 NFPA 101, LIFE SAFETY CODE, 2018 NFPA 13, INSTALLATION OF SPRINKLER SYSTEMS, 2016 NFPA 70, NATIONAL ELECTRICAL CODE, 2017 NFPA 72, NATIONAL FIRE ALARM AND SIGNALING CODE, 2016 NFPA 241, SAFEGUARDING CONSTRUCTION, ALTERATION AND DEMOLITION OPERATIONS, 2013 NFPA 415, AIRPORT TERMINAL BUILDINGS, FUELING RAMP DRAINAGE, AND LOADING WALKWAYS, 2016															2. ALL EXISTING FIREPROOFING TO REMAIN UNDISTURBED. CONTRACTOR TO REPLACE ANY DAMAGED FIREPROOFING SCHEDULED TO REMAIN. REFER TO CODE SUMMARY FOR FIRE RATINGS OF ELEMENTS. 3. CONTRACTOR SHALL CONFORM TO DIVISION 00 - PROCUREMENT AND CONTRACTING REQUIREMENTS AND DIVISION 1 GENERAL REQUIREMENTS OF THE CONTRACT DOCUMENTS 4. CONTRACTOR SHALL VERIFY THAT EXIT EGRESS IS MAINTAINED FOR ALL OCCUPIED AREAS OF THE BUILDING THROUGHOUT THE PROJECT. ALL MOBILIZATION AND PHASING PLANS SHALL IDENTIFY ANY TEMPORARY MODIFICATION TO THE EXISTING EGRESS SYSTEM AND OBTAIN APPROVAL FROM OWNER AND CODE OFFICIAL PRIOR TO ANY WORK. CONTRACTOR TO PROVIDE TEMPORARY SIGNAGE TO IDENTIFY LOCATIONS OF EXITS, RELOCATED EQUIPMENT OR TO IDENTIFY ANY EQUIPMENT OR VERTICAL CIRCULATION ELEMENT OUT OF SERVICE AND TO REDIRECT TO NEAREST AVAILABLE ELEMENT. REFER TO CODE ANALYSIS, EGRESS AND SIGNAGE DRAWINGS. MAINTAIN SIGNAGE OF AND CLEAR AND SAFE PASSAGE TO ALL LIFE SAFETY FEATURES SUCH AS BUT NOT LIMITED TO: FIRE ALARM STATIONS OR PANELS, DEFIBRILLATORS, FIRE HOSE CABINETS OR ANY OTHER LIFE SAFETY FEATURE. MAINTAIN ACCESS TO ALL EXISTING ELECTRICAL AND DATA CLOSETS. 5. CONTRACTOR SHALL FURNISH COVERED CONTAINERS FOR DEBRIS REMOVAL. REMOVAL CONTAINER TO REMAIN COVERED AT ALL TIMES. ANY ON AIRPORT DEBRIS CONTAINERS AND LOCATIONS THEREOF WILL BE APPROVED BY OWNER'S REPRESENTATIVE. REMOVAL OF ANY DEBRIS OR COMBUSTIBLES IS TO OCCUR BY THE END OF EACH SHIFT. CONTAINERS SHALL NOT BLOCK ACCESS OR VISIBILITY OF ANY FIRE OR LIFE SAFETY ELEMENT. 6. ALL PLYWOOD SHALL BE FIRE RETARDANT AND EXTERIOR PLYWOOD SHALL BE PRESSURE TREATED.															7. PROVIDE PORTABLE FIRE EXTINGUISHERS IN AREAS OF WORK PER NFPA 10. 8. THE CONTRACTOR SHALL VISUALLY INSPECT THE PROJECT SITE AND NOTIFY THE AUTHORITY IMMEDIATELY IF ANY WORK INDICATED IN THE CONTRACT DOCUMENTS CANNOT BE PERFORMED DUE TO EXISTING FIELD CONDITIONS. 9. DO NOT SCALE DRAWINGS, ALL DIMENSIONS REFERENCED ON DRAWINGS ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO CONSTRUCTION. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE OWNER'S REPRESENTATIVE WITH ANY DIFFERENCES AND OBTAINING CLARIFICATION FROM THE AUTHORITY AND ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION. IT IS EXPECTED THAT THE CONTRACTOR SURVEY ALL EXISTING AREAS AND IMPLEMENT ANY ADJUSTMENTS TO THEIR WORK PLANS SO TO NOT CAUSE DELAY TO THE PROJECT. 10. THE CONTRACTOR SHALL BRACE ALL EXISTING STRUCTURES OR STRUCTURAL OR NONSTRUCTURAL ELEMENTS AS NECESSARY DURING DEMOLITION AND CONSTRUCTION. 11. THE EXISTING BUILDING ENVELOPE SHALL BE MAINTAINED IN A WATER TIGHT CONDITION AT ALL TIMES. PROVIDE PROTECTION BOARD OVER ALL WORK AREAS ON EXISTING ROOF. 12. PROVIDE PROTECTION FOR EXISTING ADJACENT MATERIALS DURING DEMOLITION AND CONSTRUCTION TYPICAL. 13. CONTRACTOR SHALL REPAIR, PATCH AND MATCH EXISTING FINISH OF ANY DAMAGE OCCURING DURING DEMOLITION OR CONSTRUCTION TO EXISTING ADJACENT FLOORS, WALLS, CEILINGS, LIGHTING, FIRE PROTECTION EQUIPMENT ETC THAT IS SCHEDULED TO REMAIN. 14. GENERAL CONTRACTOR SHALL COORDINATE ALL ARCHITECTURAL DEMOLITION AND NEW CONSTRUCTION WITH ALL DISCIPLINES AND RELATED WORK OR OTHER CONTRACTORS HIRED BY THE OWNER TO PERFORM WORK RELATED TO THE PROJECT WORK AREA. NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.															CITY OF MANCHESTER, NEW HAMPSHIRE - DEPT. OF AVIATION : FY24-805-45 AIRPORT TERMINAL BUILDING IMPROVEMENTS AWIP : BHS-TC2/TC4 : A-WING OFFICES GENERAL ARCHITECTURAL SHEET PROJECT NO: 60638480-1029 CAD DWG FILE: DESIGNED BY: AECOM DRAWN BY: JT DEPT CHECK: PB PROJ CHECK: JGG DATE: 05/24/2024 G1.102														
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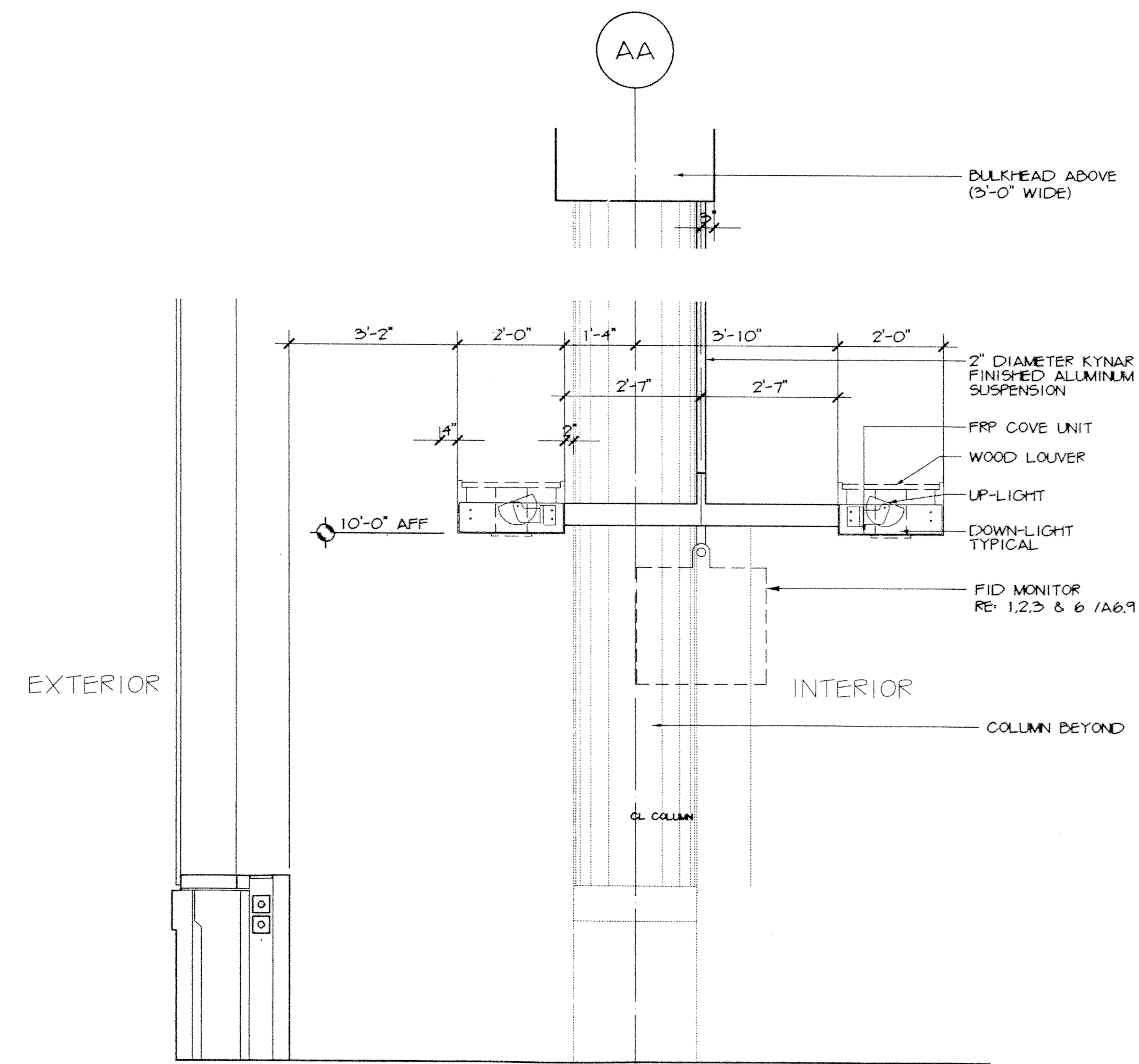
1992 GENERAL CONSTRUCTION REFERENCE FOR MODIFICATIONS / SHORTENING OF EXISTING LIGHT TRAYS AT CONSTRUCTION AREA 5: PRODUCT CHECKPOINT



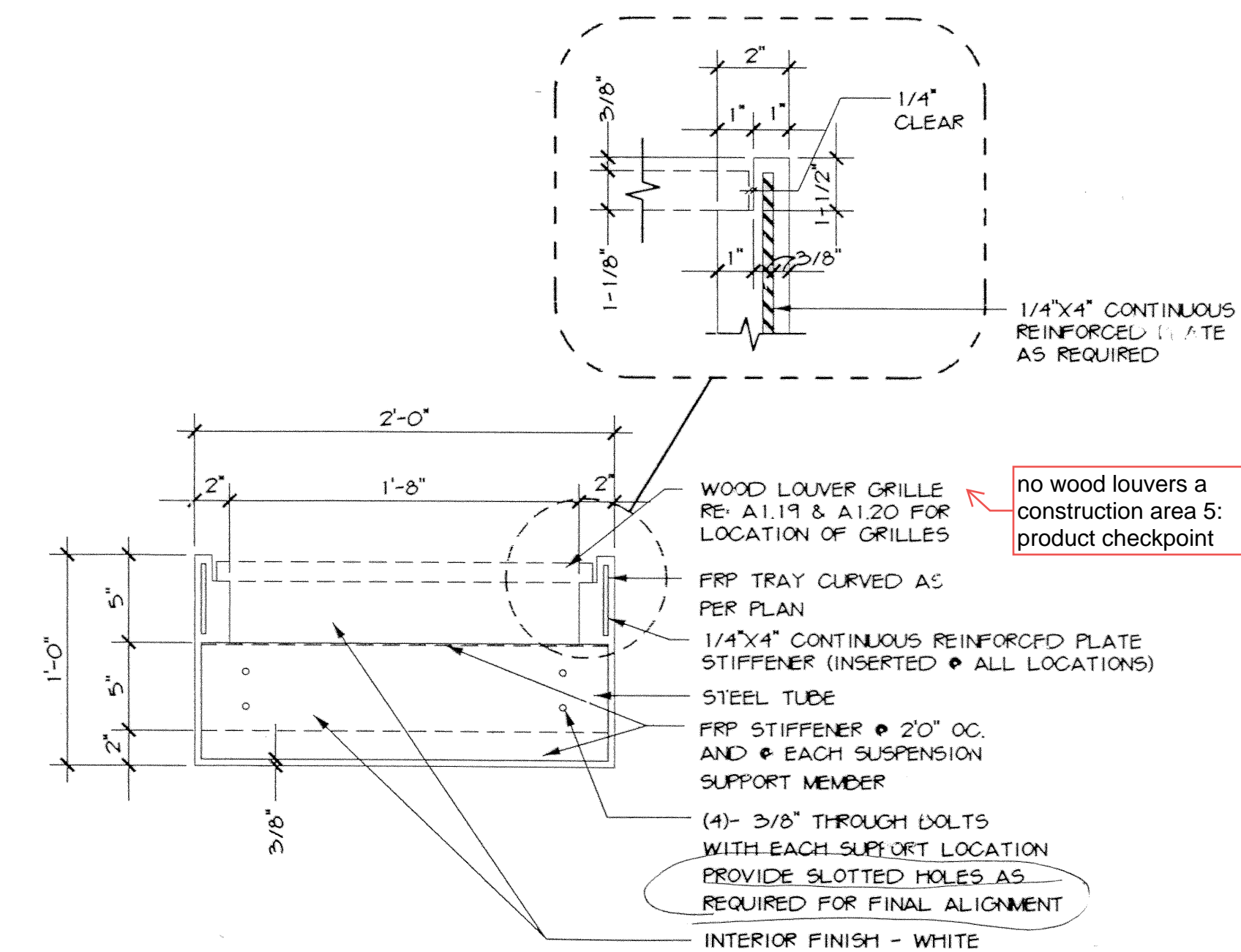
1 TRAY SECTION • RENTAL CAR COUNTER #1304
A6.5 SCALE: 1/2" = 1'-0"



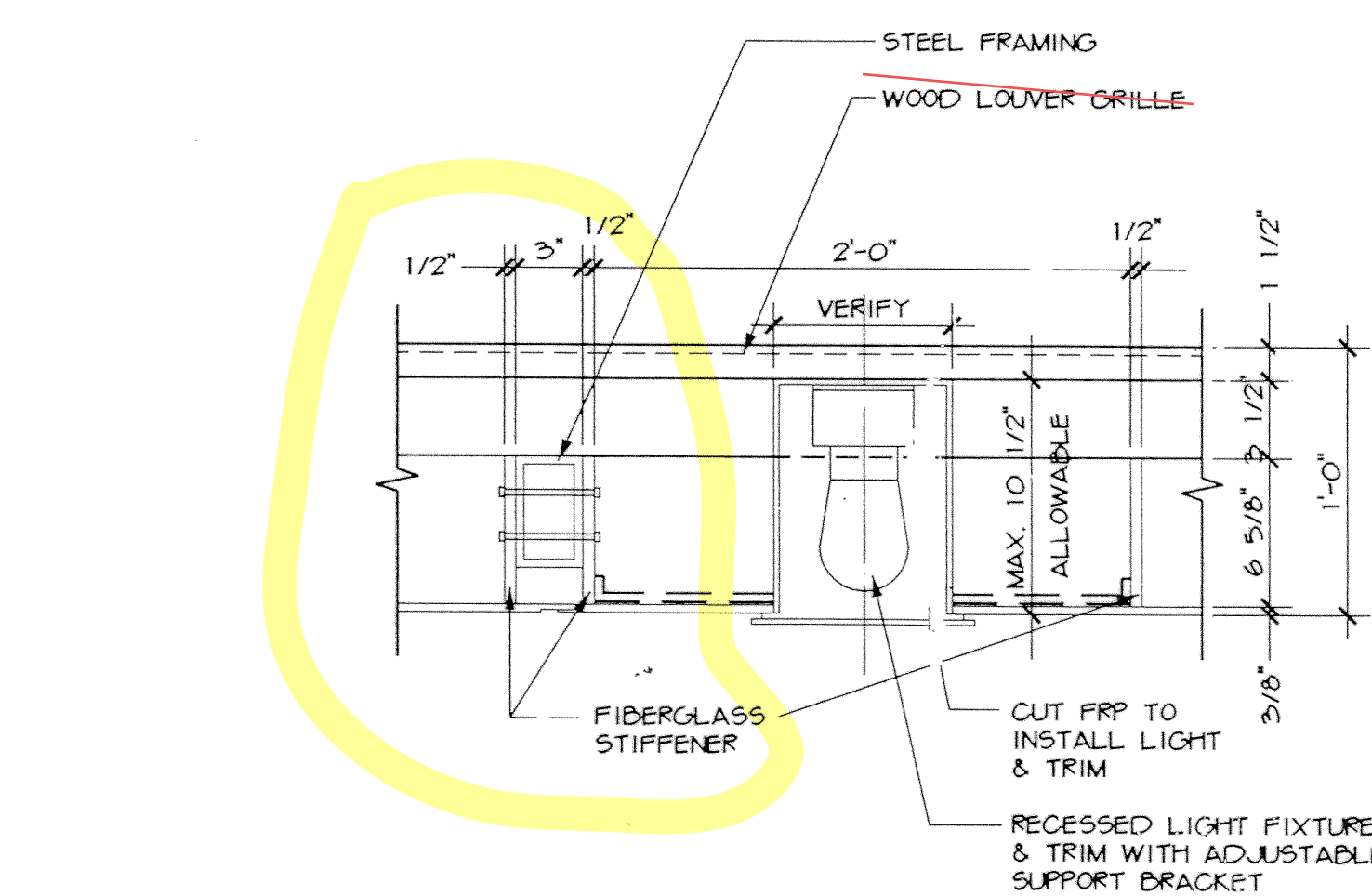
2 TRAY ISOMETRIC • TICKET COUNTER
A6.5 SCALE: 1 1/2" = 1'-0"



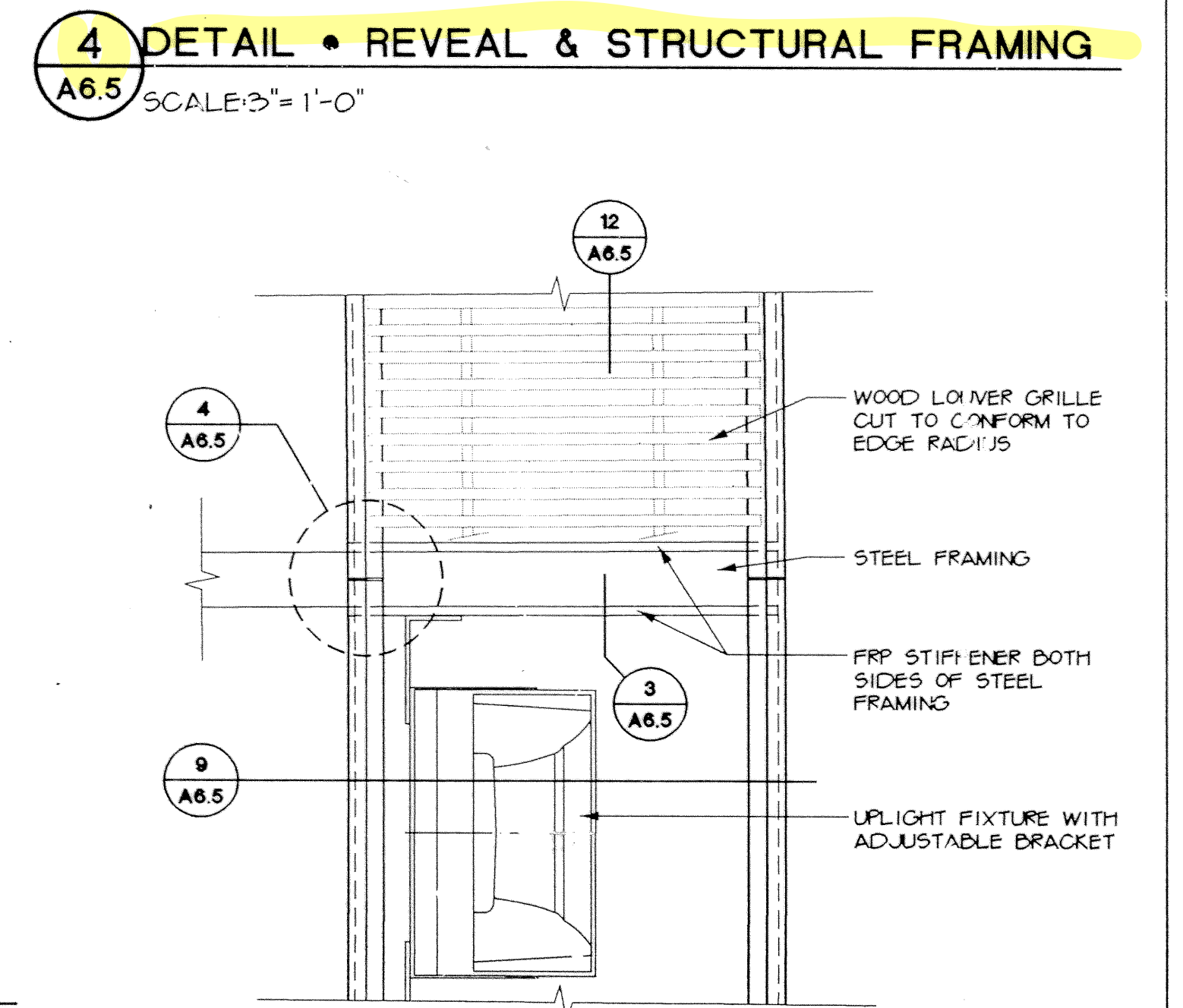
5 TRAY SECTION • LOBBY #1100
A6.5 SCALE: 1/2" = 1'-0"



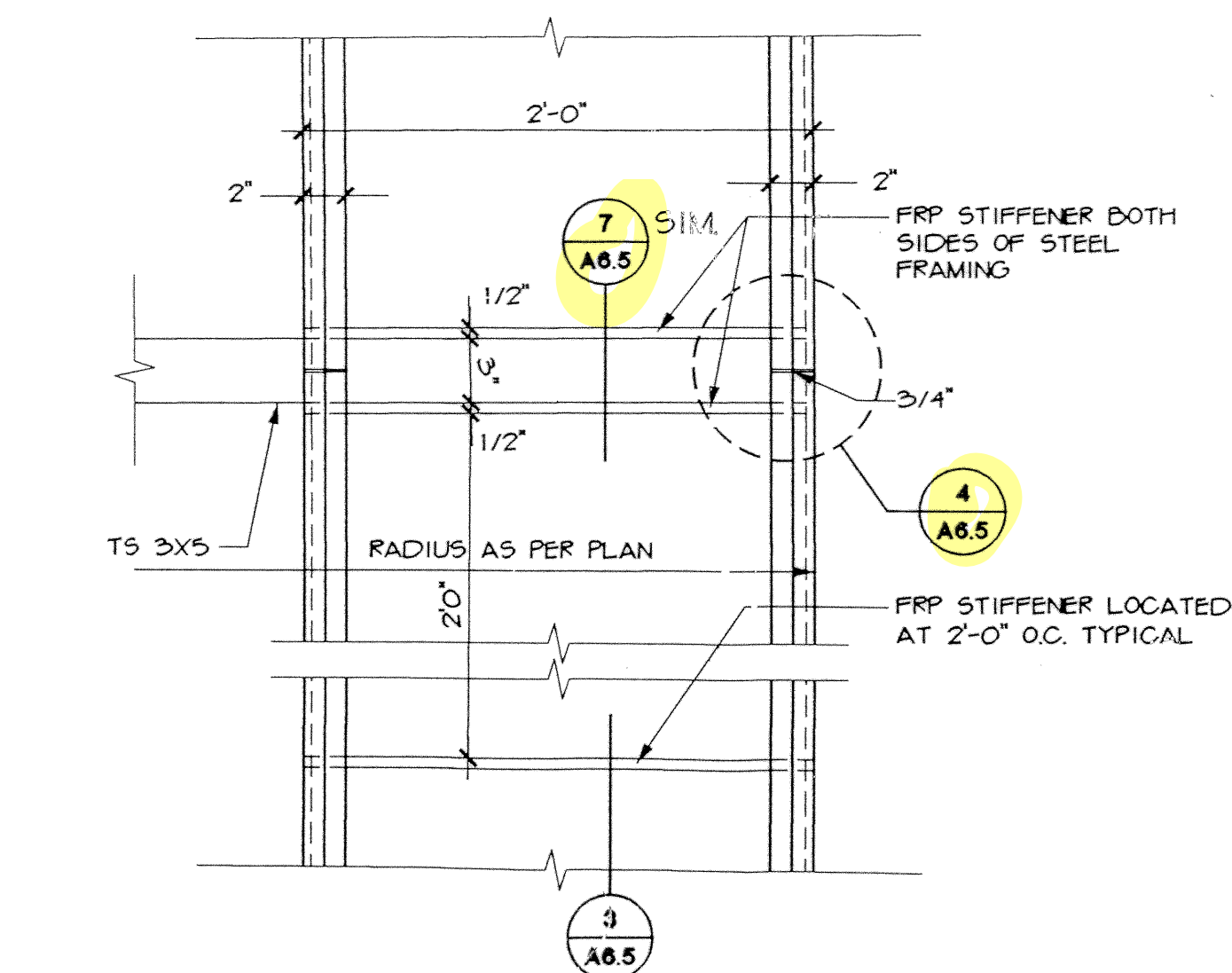
6 TYPICAL FIBERGLASS TRAY SECTION
A6.5 SCALE: 1 1/2" = 1'-0"



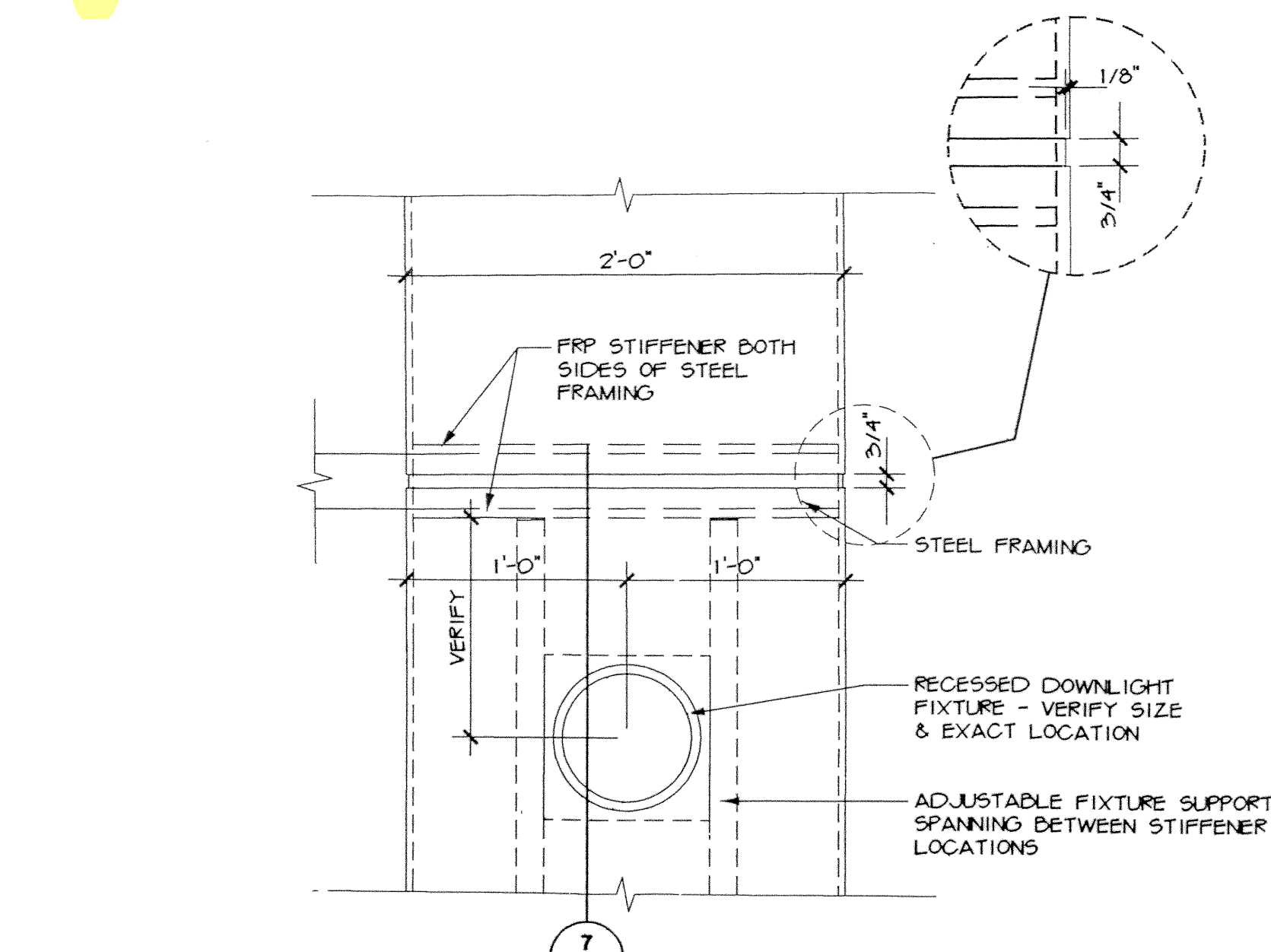
7 TYPICAL RECESSED LIGHT & FIBERGLASS ANCHORAGE
A6.5 SCALE: 1 1/2" = 1'-0"



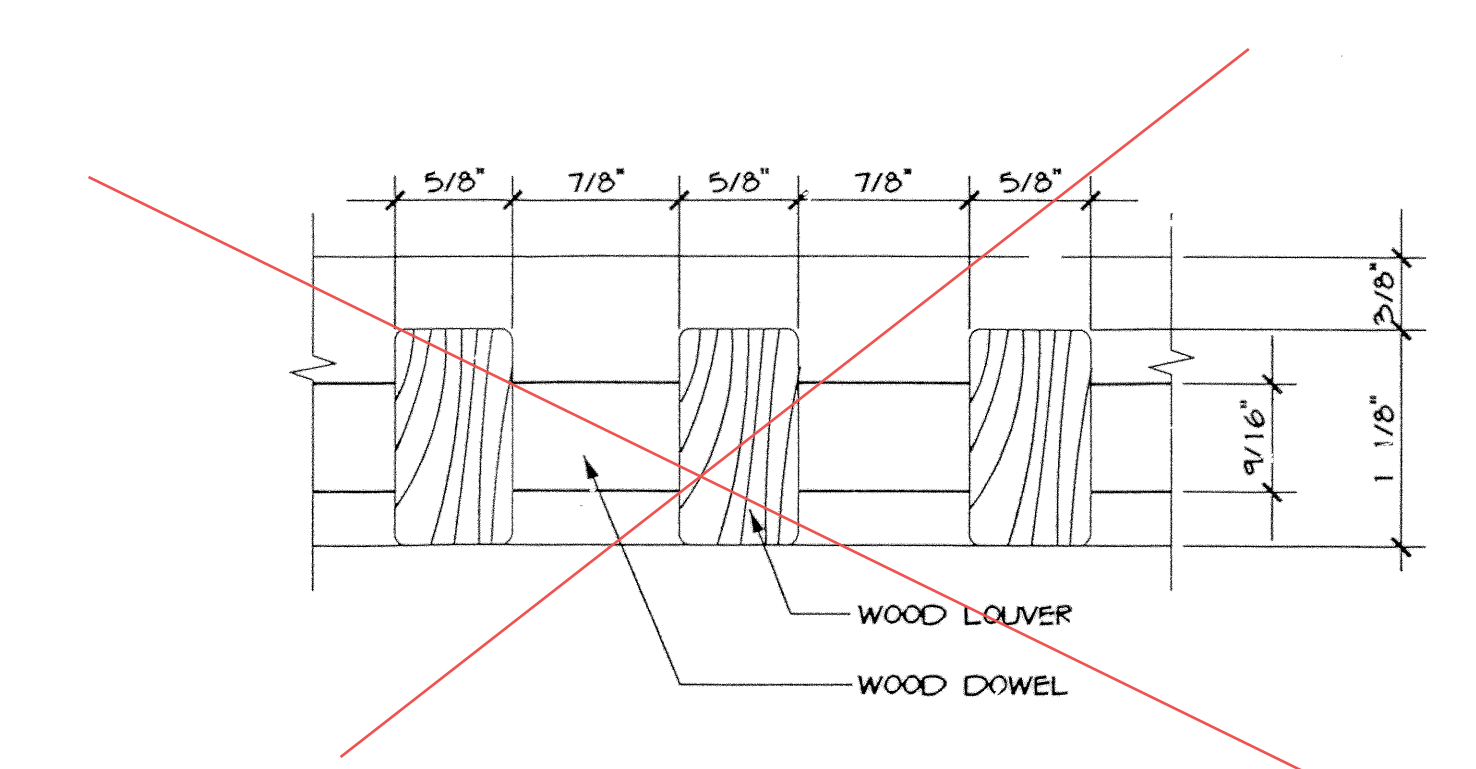
8 TYPICAL PARTIAL PLAN • FRP TRAY
A6.5 SCALE: 1 1/2" = 1'-0"



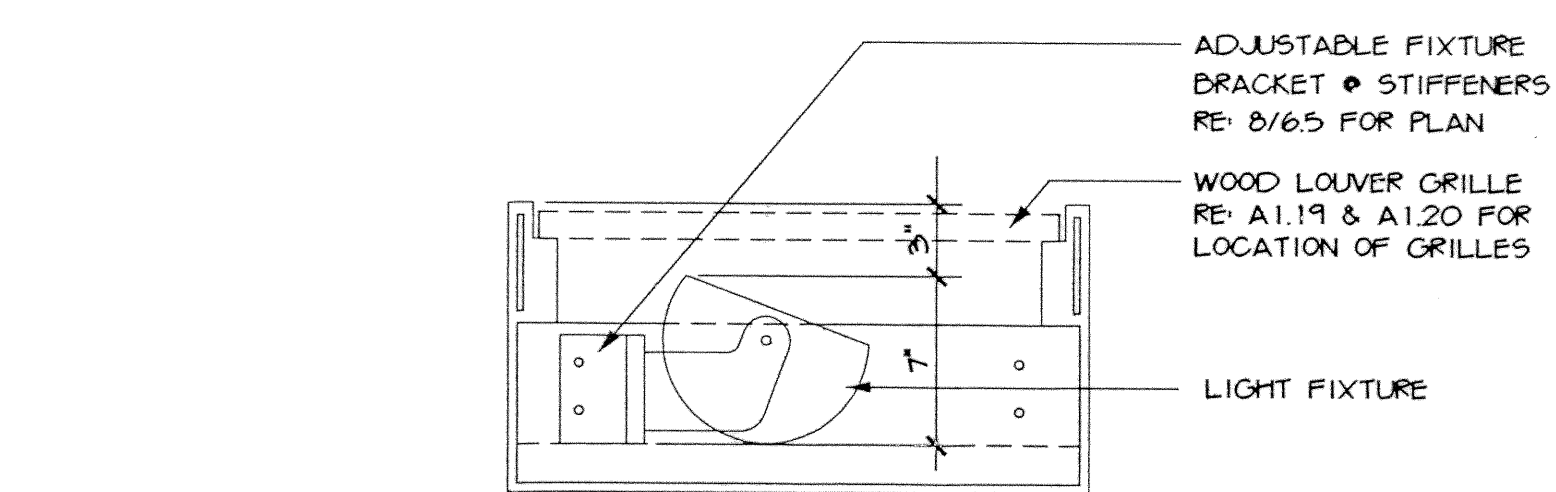
10 TYPICAL FIBERGLASS TRAY - PARTIAL PLAN
A6.5 SCALE: 1 1/2" = 1'-0"



11 TYPICAL FIBERGLASS TRAY - PARTIAL RCP
SCALE: 1/2" = 1'-0"



12 TYPICAL WOOD LOUVER SECTION
A6.5 SCALE: 1/4"=1'-0"



9 TYPICAL UP-LIGHT MOUNTING
A6.5 SCALE: 1 1/2" = 1'-0"

L/PR
INTERIOR DESIGN
21. INDEPENDENT DRIVE
MANCHESTER, NH 03102
(603) 252-5450

LAVALLEE / BREUNINGER
PROFESSIONAL ASSOCIATION
(603) 252-5450

LENTZ
ARCHITECTS ENGINEERS
99 CANAL CENTER PLAZA
ALEXANDRIA, VA 22314
(703) 584-2700

**HOWARD NEEDLES
TAMMEN & BERGENOFF**

H.J. STABLE & SON, INC.
22 COTTON RD. CS2100
NASHUA, NH 03061-2100

AS BUILT DRAWINGS

MANCHESTER AIRPORT TERMINAL
MANCHESTER, NEW HAMPSHIRE
PROJECT PACKAGE T-2

DRAWN BY:
PROJECT NO: 15121
DATE: 09/18/92
REVISED:

COMMENT
LIGHT TRAY DETAILS
AS NOTED

A6.5